

ADDENDUM NO. 1

September 29, 2017

TO: PLANS and SPECIFICATIONS for

**Renovations & Addition
Central Bank Neef Terrace Building
105 West High Street
Jefferson City, Missouri**

TAA Project Number: 1630

The Architects Alliance, Inc.
631 West Main Street
Jefferson City, Missouri 65101-1531
573-636-5000

Bidders are hereby informed that the construction plans and/or specifications are modified as follows:

GENERAL:

1. **Bids Due: October 05, 2017 at 2:00 pm; Central Bank, Seveth Floor, Jim Crabtrees Office, 238 Madison Street, Jefferson City, Missouri 65101**
2. **Attached:** September 21, 2017, 8:00am Mandatory Pre-Bid **Sign-In Sheet**
3. Mandatory Pre-Bid Meeting; Included detailed summary of project scope and items of particular attention required. Noted that NO Substitutions will be taken for specified products, finishes, equipment, wood species, appliances, etc. unless confirmed prior approval via substitution request as approved by Architect. After pre-bid meeting adjournment a project site tour was given of the parking area, second and third levels of renovation spaces.
4. Contact the Architect to schedule any site visits that shall take place during bidding.
5. Owner advised that Contractor Staging areas will be granted to limited parking stalls at the adjacent parking lot, and long the east parking area along Merchants Bank Building. Additional construction/material/equipment staging areas can be provided by Owner off-site at a parking lot within a city block distance.
6. Electrical and utility down time shall be closely coordinated with the Owner that would affect other business operations with businesses located in the adjacent 101/103 Merchants Bank Building. Down times shall be coordinated to take place over the weekend or outside of normal business hours as possible and as approved by Owner prior to the work beginning. Contractor shall schedule and plan for these down times accordingly to have all materials on-site/ready with as much rough-in work installed prior to as possible.
7. Drawings have been submitted to City of Jefferson for review. Any review comments received prior to date of Bids Due will be incorporated into the Project, via addenda. Contractor is

responsible for securing and paying for permits and fees as indicated in the AIA General Conditions, A201-2007.

8. Furniture package is not part of base bid. Owner will be purchasing furniture separately (with exception of millwork/casework items indicated). However the General Contractor will be responsible to coordinate all trades with the Owners furniture contractor.
9. Appliances unless otherwise specified are a part of base bid. Contractor shall purchase appliances and providing all means and methods as required for a fully installed, complete and functioning unit. The General Contractor will be responsible to coordinate all trades with the appliances and contractors to install equipment/units, i.e. dishwashers, refrigerators, etc.
4. **CLARIFICATION:** Interior Wood Doors: painted doors, jambs and casings can be Poplar wood species with super-refined MDF panels. Walnut Stained Doors, jambs, and crown shall be Walnut wood species with Walnut Veneer panels. Veneers shall be random matched for color/grain.
5. **CLARIFICATION:** Exterior Front Entry Door (200-A) door, jambs, casing and crown shall by Walnut wood species with solid Walnut wood panels. Exterior Shutters shall be painted Cypress wood species.
6. **CLARIFICAION (ADD):** Doors 201-A, 206-A (HM), 309-A and 301-A (HM) shall be labeled as 90min. Fire-Rated doors. Doors 201-A and 309-A (Elevator Access Doors) shall be Solid core door with Walnut wood veneer and veneer stile/rail applied to face; Style and Rail to match Door-Type 'A' and closely coordinate with Elevator manufacture for electrified strikes to be provided/installed and compatible hardware as recommended by elevator manufacture, installations for fully secure and operational elevator door system.
7. **CLARIFICATION:** Kitchen casework shall be Butternut wood species with Butternut wood veneer panels to be stained/sealed as approved by Architect. Veneers shall be random matched for color/grain.
8. **CLARIFICATION:** Master Bath & Guest Bath shower Glass-partition/doors; refer to K12/A102 and interior elevations/details for additional information pertaining to height. Glass panels to free supported at top of glass and recessed in wall and base track/frame recessed in shower curb. Dual Hinge – shall read as Dual Swing; Provide heavy duty hinge as recommended by manufacturer.

SPECIFICATIONS:

1. N/A

DRAWINGS:

1. Drawing A101 – **DELETE/CLARIFICATION:** Drawing tag K2/A101“Second Level Floor Plan” shall read “Ground Level Floor Plan”

2. Drawing A501 – **CLARIFICATION:** Note 081433.A shall remove the word “Birch”. Doors shall be provided as noted in door details and elevations. Refer to clarification line item #4, 5 and 6 above.
3. Drawing A602 – **DELETE:** Delete elevation reference of the East Wall Elevation of the Fire Place/Casework (F2/A602) and shall refer to details D1/D8/D15 / A606 for additional information. GC to coordinate all trades.
4. Drawing A606– **CLARIFICATION (ADD):** Refer to attached supplemental drawing for additional information. Shall provide under-counter drip edge relief per detail provided at all stone counters.

ATTACHMENTS:

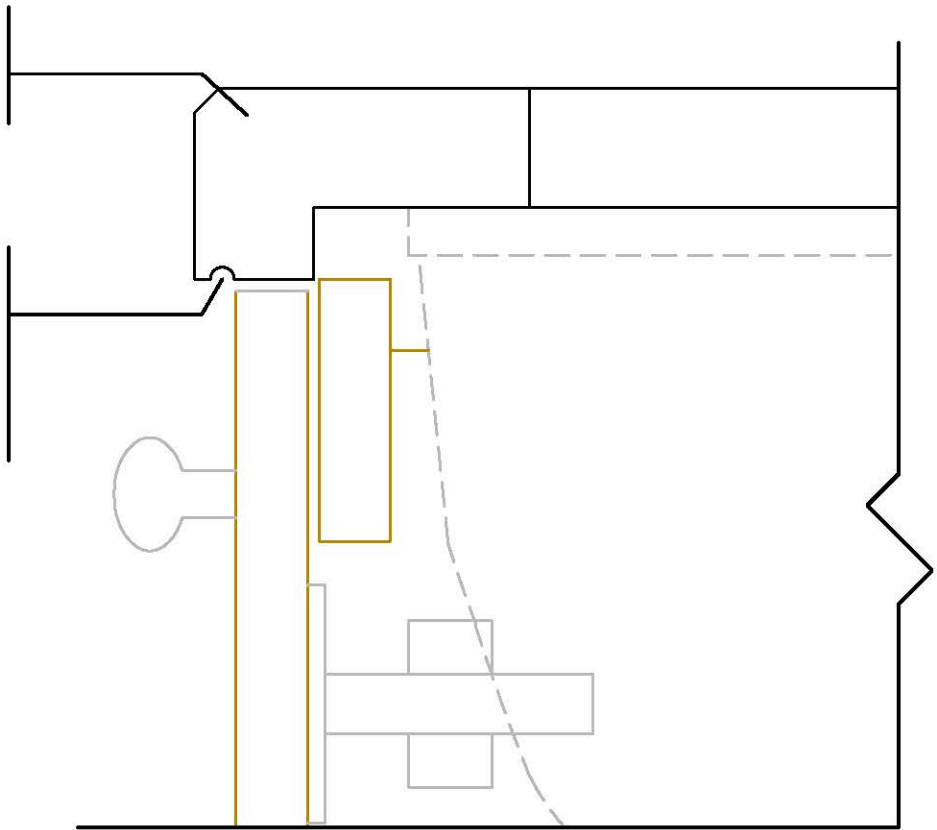
A606-R1
PRE-BID SIGN IN SHEETS

1 page
4 pages

END OF ADDENDUM 1

SILESTONE - CALACATTA GOLD
COUNTERS, BACKSPLASHES,
SHOWER-WALLS

PROVIDE UNDER COUNTER
DRIP-EDGE RELIEF. RELIEF SHALL
BE CUT IN STONE COUNTER WITH
HALF ROUND RECESS/REFLIEF
OFF-SET FROM FACE MIN. .125"
TYPICAL RELIEF DETAIL ON ALL
REMAINING COUNTER CONDITIONS



NOTE:

1. CONTRACTOR SHALL PROVIDE ALL UNDERCOUNTER SUPPORT AND BLOCKING AS REQUIRED FOR A COMPLETE INSTALLATION FOR UNDER COUNTER MOUNTED SINK/BOWLS. TYPICAL.

K8
A606

KITCHEN MILLWORK AND CASEWORK DETAILS

NTS



RENOVATIONS & ADDITION
CENTRAL BANK NEEF TERRACE BUILDING
105 West High Street
JEFFERSON CITY, MISSOURI
PROJ: 1023

ADDENDUM DRAWING
A606
ADD. #001
DATE: 09-28-2017

**RENOVATIONS AND ADDITION
CENTRAL BANK NEEF TERRACE BUILDINGS
105 WEST HIGH ST. • JEFFERSON CITY, MO**

Project No. 1623

PRE-BID MEETING

September 21, 2017.

NAME	FIRM	PHONE/FAX	EMAIL
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