

## ADDENDUM #1

DATE: **July 3, 2018**

TO BIDDING DOCUMENTS ENTITLED:

**Columbia Public Schools  
Hickman High CASA Building Renovations**

**PWA PROJECT NUMBER: 201621.15**

ORIGINAL BID DATE: 2:00p.m. Tuesday, July 10th, 2018

**NEW BID DATE: 2:00p.m. Thursday, July 19th, 2018**

PREPARED FOR: **Columbia Public Schools**

CONSULTANT: **PWArchitects, Inc.  
Attn: Chris Davis, AIA  
Email: cdavis@PWArchitects.com**

**Drawings and Specifications for the above noted project and the work covered thereby are herein modified as follows, and except as set forth herein, otherwise remain unchanged and in full force and effect:**

### General:

1. **Plan holders List:** A plan holders list is available online at [www.adsmo.net](http://www.adsmo.net) or by calling ADS at (573) 446-7768.
2. **BID DATE CHANGE: JULY 19<sup>TH</sup> AT 2PM NOW.**
3. **Pre-Bid Meeting Attendees List: See attached.**
4. **Questions and Answers:** All Questions regarding the project should be directed to Chris Davis, AIA, at PWArchitects. Request for Clarification (RFC) and Request for Substitution (RFS) forms are available in the bid documents. Verbal questions will be answered but are not binding on either party. Questions will only officially be answered when submitted in writing through regular mail, fax or e-mail four (4) business days in advance of the bid date July 10th. July 5<sup>th</sup> at 2pm was stated as the deadline in the pre-bid meeting. E-mail is preferred.
5. As stated in the pre-bid meeting any permit and tap fees shall be paid for by CPS.
6. Any required sets of the Bid Documents by the contracted Contractor that exceed the amount of sets that are returned to the printers shall be paid for by the Contractor.
7. For bonding purpose the construction is estimated at \$500,000 for this project.
8. CPS expects to send the contract to the August 13<sup>th</sup> BOE meeting for final approval. The contractor shall obtain all necessary security clearances, insurance policies, bonds, etc....before any construction can begin. If all required documents have been turned in then the Contractor will be allowed to start construction activities at their own risk.
9. Testing by CPS, Contractor to coordinate timing and access.
10. The retainage amount shall be 5% on this project through substantial completion. Any reductions before substantial completion will be up to the Owner.

11. CPS HR Dept. requires that contractors get new background checks on each project, even if they have been working with the district on other projects.
12. The steel columns in the Lab space shall be painted like all other steel and metal items whether new or existing. See 09 90 00 Painting and Coating and finish schedule.
13. Solid Surface Sills shall be Corian or WilsonArt or approved equal. ½" thick.
14. Door 02A is a new door and frame in a new framed wall in the existing overhead door opening. The existing door, frame and infill is being removed.
15. Window frame elevation B are to be 2" thick members evenly spaced both vertically and horizontally. All fixed. Not operable.
16. Window Shades: there are no type 1 window shades. All shades shall be type 2. Only window elevation B type windows get shades.
17. The unit prices are for the masonry restoration portion of the project. Sealant work for new construction items like countertops, door frames, plumbing fixtures, etc... are not part of the unit prices.
18. Concrete Slab Clarifications for note 2 on A1/A101:
  - a. The slab area leading up to door 02A will need to be sloped up to end up slightly higher than the existing exterior grade. The grade at this opening is roughly 6" higher. The slope should start approximately 5' from the door. The contractor is required to chisel out excess concrete at this opening to maintain a minimum thickness of the new slab at 6".
  - b. Mesh shall be 6x6 / W2.9 x W2.9
  - c. Sealer type shall be clarified in Addendum 2.
  - d. The existing concrete floor shall be properly cleaned and prepared for the new concrete slab placement.
  - e. Expansion joint board with tear top for sealant shall be used around the perimeter and existing walls and structural columns. Sealant shall be installed at all of these locations.
19. There will be one (1) 4' tall by 8' long marker board centered on the South wall of the Classroom space only.
20. There will be one (1) fire extinguisher and cabinet in the Lab space only. Locate to right side of drinking fountains.
21. The noise restriction mentioned in the bid documents is not in affect for this project.
22. CPS will work with the contractor for on site parking and laydown. Likely on the South side of the building.
23. If bidders need access to the building they need to contact either Charlie Oestreich or Greg Drake.
24. The contractor will have to provide temporary lighting but electric and water is still on.
25. The building will NOT have a fire suppression system.

**Specifications:**

1. Spec Section 23 07 13 replace paragraph 3.7 INDOOR DUCT AND PLENUM INSULATION SCHEDULE as follows:
  - A. Supply-Air and Return-Air Duct Insulation: Mineral-fiber liner, 1 inches thick and 1.5-lb/cu. ft. nominal density.
  - B. Supply-Air and Return-Air Duct in Unconditioned Space, Additional Insulation: Mineral-fiber wrap, 2 inches thick and 1.5-lb/cu. ft. nominal density, with FSK jacket.
  - C. Outdoor-Air Duct in Conditioned Spaces, Including Plenums, Insulation: Mineral-fiber wrap, 2 inches thick and 1.5-lb/cu. ft. nominal density. This same treatment applies to the portions of exhaust ducts between isolation / backdraft dampers and outlets open to the outdoors.
  - D. Oven and Warewash Exhaust-Air Duct: Mineral-fiber wrap, 2 inches thick and 1.5-lb/cu. ft. nominal density, with FSK jacket.

- E. General Exhaust-Air Duct in Unconditioned Spaces Insulation: Mineral-fiber wrap, 2 inches thick and 1.5-lb/cu. ft. nominal density, with FSK jacket.

**Drawings:**

- 1. 8.5x11 – Restroom Signage and Classroom Signage.

**Attachments:**

- 1. Pre-Bid attendees list.
- 2. 8.5x11 – Restroom Signage and Classroom Signage.
- 3. MEP Narrative
- 4. MEP Drawings

**END OF ADDENDUM**

**ATTENDANCE FOR**  
**RFP 19/17 HICKMAN HIGH SCHOOL CASA BUILDING RENOVATION**

**Pre-Bid Meeting 6/28/2018, 10:00 A.M.**  
**ATTENDANCE**

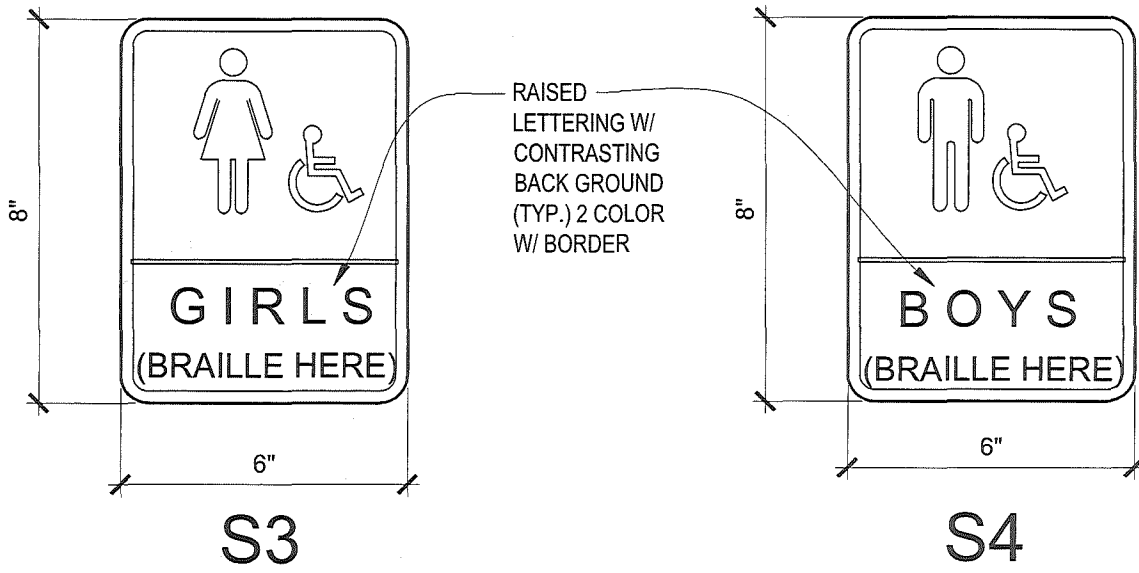
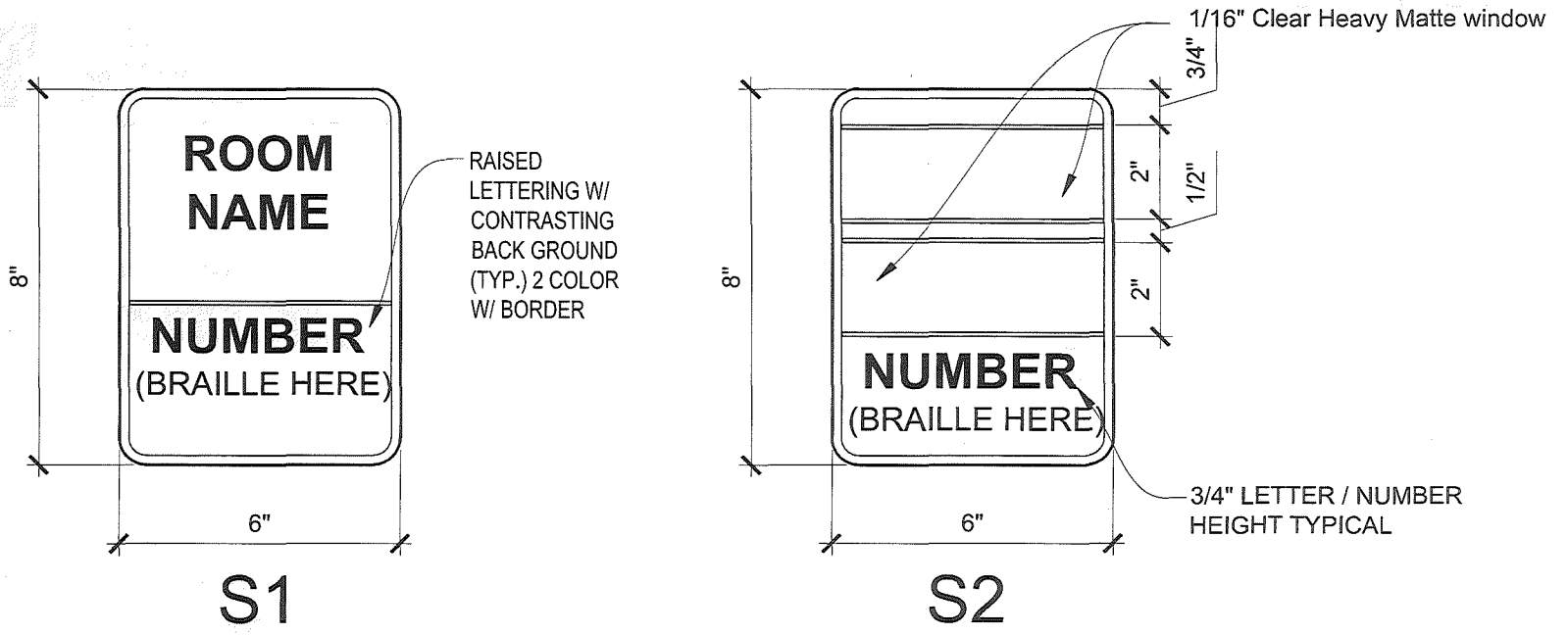
NAME	COMPANY	PHONE	EMAIL
Aaron Carmichael	Sirral	573-893-5977	Bids@sirralcontracting.com
David Thompson	Hankins Construction	314-426-7030	office@webuildstl.com
Corey Neims	Pre-Prost Prost Builders	573 635 0211	drew@prostbuilders.com
Rikki Bestagnolli	Questec Mechanical	573-875-0260	estimating@questec.us
Tim Bishop	Butzer	573 636 4115	timb@hgbutzer.com
Brad Armstrong	Butzer	573-636-4115	Brada@hgbutzer.com
Rebecca Thompson (intern)	Butzer	573-636-4115	
CRAIG SIMON	PCE	573-881-0765	csimon@pce-mo.com
MARIC CRAWFORD	CRAWFORD CONST. INC	573-875-1250	CRAWFORDMFC@MSN.COM

## ATTENDANCE FOR

### RFP 19/17 HICKMAN HIGH SCHOOL CASA BUILDING RENOVATION

Pre-Bid Meeting 6/28/2018, 10:00 A.M.  
ATTENDANCE

NAME	COMPANY	PHONE	EMAIL
LESLIE VERSLUES	VERSLUES CONSTRUCTION	573-395-4323	LESLIEVERSLUES@ VERSLUESCONSTRUCTION.COM
Dan Linhardt	G B H	573-893-3633	dane@glbbuilders.com
GARY E. DORR	FIVE OAKS ASSOCIATES	573-682-1314	admin@5oaksassociates.com
Adam Howey	Mechanical Services Inc	417-881-0903	adamhowey@msiconstructors.com
JOHN HOWARD	PETERS HVAC	217-919-7069	jhoward@petershvac.net
Mike Robinett	Schneider Electric	573-636-4101	mrobinett@selo.com
Greg Drake	CPS		
Lisa Dranich	CPS		
Chris Davis	CPS		
Charlie Oestreich	CPS		

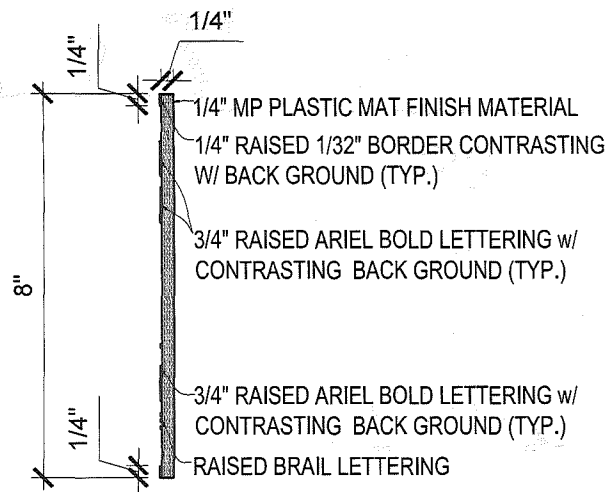


Peckham & Wright Architects, Inc., d.b.a.  
**PWArchitects, Inc.**  
 2120 Forum Blvd., Ste. 101  
 Columbia, Missouri 65203

PWArchitects.com  
 573.449.2683

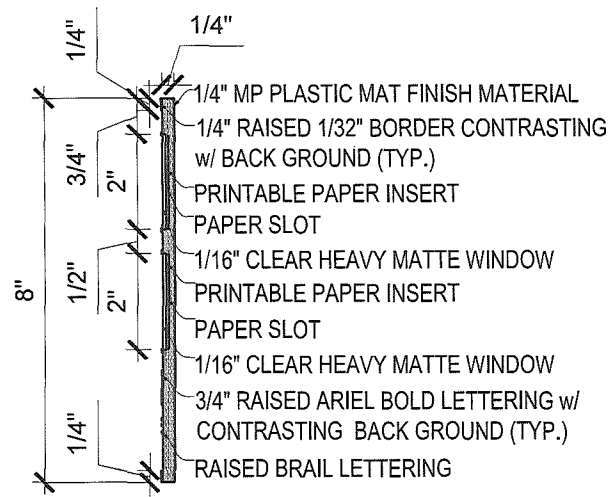
Peckham & Wright Architects an Architectural Corporation  
 Missouri State Certificate of Authority No. 000244

DRAWING NO.  
**ADD-1**  
 Sheet 1 of 2



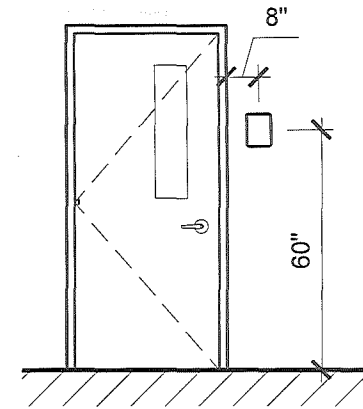
S1 SECTION

SCALE: 3"-0" = 1'-0"



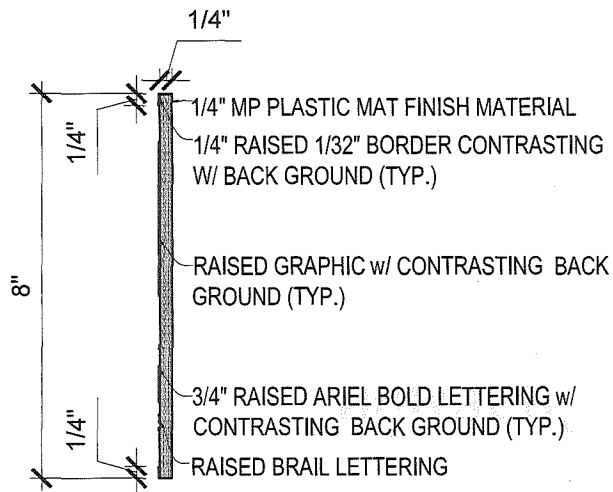
S2 SECTION

SCALE: 3"-0" = 1'-0"



TYPICAL SIGN MOUNTING DETAIL

SCALE: 1/4" = 1'-0"



S3 & S4 SECTION

SCALE: 3"-0" = 1'-0"

**Sign Schedule:**

Floor Plan Room No.	Sign text / Numbering Room Name	Sign Type	Quantity	Sign Copy
002	LAB	S2	1	"CLASSROOM"
003	ELECTRICAL ROOM	S1	1	
004	MEN' RESTROOM	S3	1	"BOYS"
005	WOMENS' RESTROOM	S4	1	"GIRLS"

**NOTES:**

1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL SIGN LOCATION INFORMATION.
2. SIGN TEXT TO BE ROOM NAME UNLESS NOTED OTHERWISE.
3. ALL SIGNAGE TO BE ANSI A117.1 COMPLIANT.
4. INTERIOR ROOM SIGN COLORS:  
BACKGROUND: SW 7068 GRIZZLE GRAY  
BORDER AND LETTERING: SW 7016 MINDFUL GRAY



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DRAWING NO.

**ADD-1**

Sheet 2 of 2

PROJECT: HICKMAN HIGH CASA BUILDING RENOVATIONS

DRAWN: MM

CHKD: CD

DATE: 06/28/2018



July 1, 2018

Re: CPS-Hickman High CASA building renovations Addendum#1

1. Existing LG VRF system shall be protected from debris during construction. After construction the ceiling cassette units shall have the coil cleaned, condensate drain / pan cleaned and the filters replaced.
2. Eye wash station shall have a 2" auto vent valve installed equal to Oatey "Surevent" 39016
3. New conductors must be run from existing panels labeled CASA1 & CASA2 back to existing main distribution panel. See attached exhibits to supplement sheet EP100 & sheet ED100.
4. Card readers and door position sensors shall be supplied and installed by CPS security contractor.

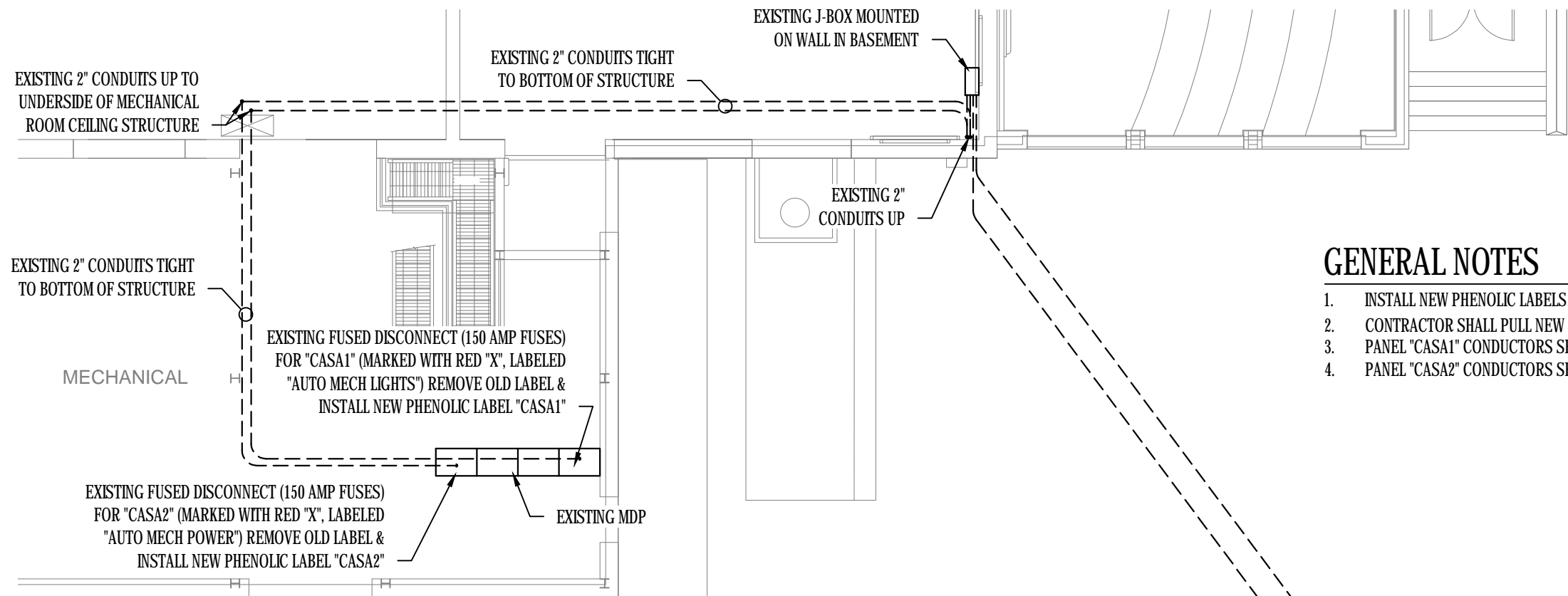
Sincerely,

A handwritten signature in blue ink that reads 'Jeremy Patrick'.

Jeremy Patrick

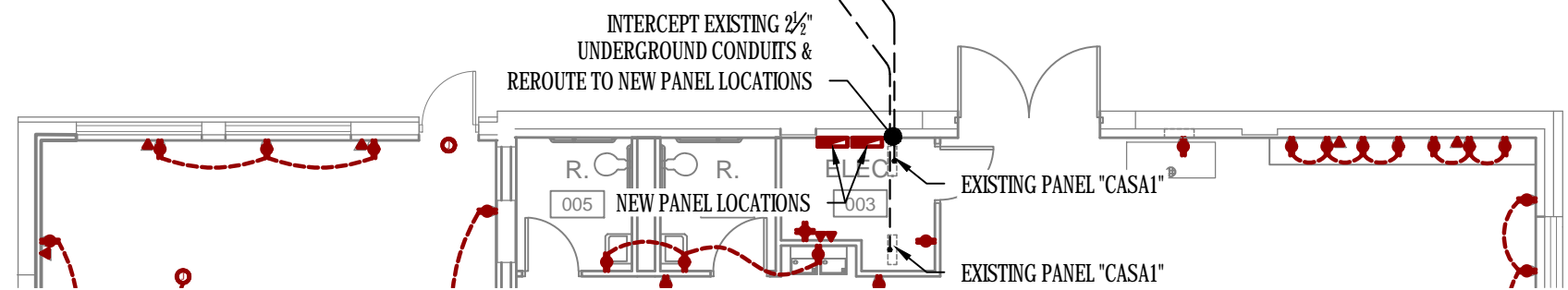
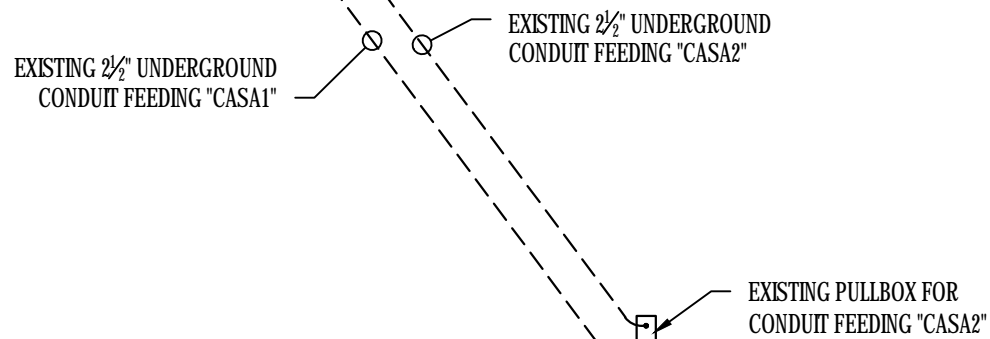
Timberlake Engineering






### GENERAL NOTES

1. INSTALL NEW PHENOLIC LABELS ON PANELS "CASA1" & "CASA2".
2. CONTRACTOR SHALL PULL NEW CONDUCTORS IN EXISTING 2" & 2½" CONDUITS FROM "MDP" TO PANELS "CASA1" & "CASA2".
3. PANEL "CASA1" CONDUCTORS SHALL BE (3) #2/O COPPER & (1) #6 COPPER EQ. GRD.
4. PANEL "CASA2" CONDUCTORS SHALL BE (4) #2/O COPPER & (1) #6 COPPER EQ. GRD.



REFERENCE SHEET(S): EP100

SHEET 1 OF 2

 <p>912 Old 63 South Columbia, MO 65201</p> <p>phone 573.875.4365 www.timberlakeengineering.com</p>		<p>PROJECT</p> <p><b>CPS HICKMAN HIGH CASA BUILDING RENOVATIONS</b></p> <p>1104 North Providence Columbia, Boone County, Missouri</p>	
		<p>SHEET TITLE</p> <p><b>POWER PLAN</b></p>	
PROJECT No.	DESIGNED BY	SHEET NUMBER	
15116	JAP	<b>EXH-A1</b>	
DATE	DRAWN BY		
07 - 02 - 2018	DET		

INTERIOR OF PANEL HAS BEEN MODIFIED TO BE SINGLE PHASE WITH 3φ MCB

ELECTRICAL PANEL SCHEDULE						EXISTING PANEL NO.		CASA1
VOLTS:	208	MAIN CAPACITY:		200 MCB		'A' AMPS =		114.5
PHASE:	3	MOUNTING:		SURFACE		'B' AMPS =		127.5
WIRE:	SEE R SER	BUSS MATERIAL:		COPPER		'C' AMPS =		X
AIR:	SEE R SER	SQUARED MODEL:		NG				
CKT.	LOCATION/DESC.	BREAKER	AMPS	PH.	AMPS	BREAKER	LOCATION/DESC.	CKT.
1	CLASSROOM OUTLETS	20-1	6	A	3	20-1	CLASSROOM PROJECTORS	2
3	CLASSROOM OUTLETS	20-1	4.5	B	4.5	20-1	CLASSROOM OUTLETS	4
5	CLASSROOM OUTLETS	20-1	4.5	A	1.5	20-1	LAB OUTLETS	6
7	LAB OUTLETS	20-1	3	B	3	20-1	LAB OUTLETS	8
9	RESTROOM OUTLETS & DF	20-1	8	A	3	20-1	LAB CORC REEL	10
11	LAB CORC REEL	20-1	3	B	3	20-1	LAB CORC REEL	12
13	LAB OUTLETS	20-1	3	A	3	20-1	LAB OUTLETS	14
15	LAB OUTLETS	20-1	3	B	3	20-1	LAB OUTLETS	16
17	LAB EQUIPMENT	20-1	10	A	10	20-1	LAB EQUIPMENT	18
19	LAB EQUIPMENT	20-1	10	B	10	20-1	LAB EQUIPMENT	20
21	LAB EQUIPMENT	20-1	10	A	10	20-1	LAB EQUIPMENT	22
23	LAB EQUIPMENT	20-1	10	B	9	20-1	LAB OUTLETS	24
25	LAB OUTLETS	20-1	4.5	A	4.5	20-1	LAB OUTLETS	26
27	LAB OUTLETS	20-1	4.5	B	6	20-1	LAB OUTLETS	28
29	LAB OUTLETS	20-1	1.5	A	11	20-1	CLASSROOM/RESTROOM LTG	30
31	LAB LIGHTING	20-1	9	B	4	20-1	CIRCULATORY PUMP	32
33	DATA RACK LOAD	20-1	3	A		20-1	SPARE	34
35	FP-1	30-2	18	B		20-1	SPARE	36
37	i	i	18	A		20-1	SPARE	38
39	SPARE	20-1		B		20-1	SPARE	40
41	SPARE	20-1		A		20-1	SPARE	42


NOTE: ELECTRICIAN TO VERIFY ALL EQUIPMENT POWER REQUIREMENTS PRIOR TO ANY EQUIPMENT & BREAKER PURCHASE OR INSTALLATION.

ELECTRICAL PANEL SCHEDULE						EXISTING PANEL NO.		CASA2
VOLTS:	208	MAIN CAPACITY:		200 MCB		'A' AMPS =		110
PHASE:	3	MOUNTING:		SURFACE		'B' AMPS =		118
WIRE:	SEE R SER	BUSS MATERIAL:		COPPER		'C' AMPS =		115
AIR:	SEE R SER	SQUARED MODEL:		NG				
CKT.	LOCATION/DESC.	BREAKER	AMPS	PH.	AMPS	BREAKER	LOCATION/DESC.	CKT.
1	FC-1 & FC-2	15-2	2	A	33	50-3	ROOF TOP UNIT (RTU-1)	2
3	i	i	2	B	33	i	i	4
5	SPARE	20-1		C	33	i	i	6
7	SPARE	20-1		A	25	50-3	DUST COLLECTOR (DC-1)	8
9	MAKE-UP AIR UNIT (MAL-1)	50-3	47	B	25	i	i	10
11	i	i	47	C	25	i	i	12
13	i	i	47	A	3	20-1	ELECTRIC STRIKES	14
15	ENERGY RECOVERY UNIT (ERU-1)	20-1	1	B	10	20-2	WATER HEATER (WH-1)	16
17	SPARE	20-1		C	10	i	i	18
19	SPARE	20-1		A		20-1	SPARE	20
21	SPARE	20-1		B		20-1	SPARE	22
23	SPARE	20-1		C		20-1	SPARE	24
25	SPARE	20-1		A		20-1	SPARE	26
27	SPARE	20-1		B		20-1	SPARE	28
29	SPARE	20-1		C		20-1	SPARE	30
31	SPARE	20-1		A		20-1	SPARE	32
33	SPARE	20-1		B		20-1	SPARE	34
35	SPARE	20-1		C		20-1	SPARE	36
37	SPARE	20-1		A		20-1	SPARE	38
39	SPARE	20-1		B		20-1	SPARE	40
41	SPARE	20-1		C		20-1	SPARE	42

NOTE: ELECTRICIAN TO VERIFY ALL EQUIPMENT POWER REQUIREMENTS PRIOR TO ANY EQUIPMENT & BREAKER PURCHASE OR INSTALLATION.

REFERENCE SHEET(S): ED100

SHEET 2 OF 2

 <p>912 Old 63 South Columbia, MO 65201</p> <p>phone 573.875.4365 www.timberlakeengineering.com</p>		<p>PROJECT</p> <p><b>CPS HICKMAN HIGH CASA BUILDING RENOVATIONS</b></p> <p>1104 North Providence Columbia, Boone County, Missouri</p>	
		<p>SHEET TITLE</p> <p><b>PANEL SCHEDULES</b></p>	
PROJECT No.	DESIGNED BY	SHEET NUMBER	
15116	JAP	<b>EXH-A2</b>	
DATE	DRAWN BY		
07 - 02 - 2018	DET		