

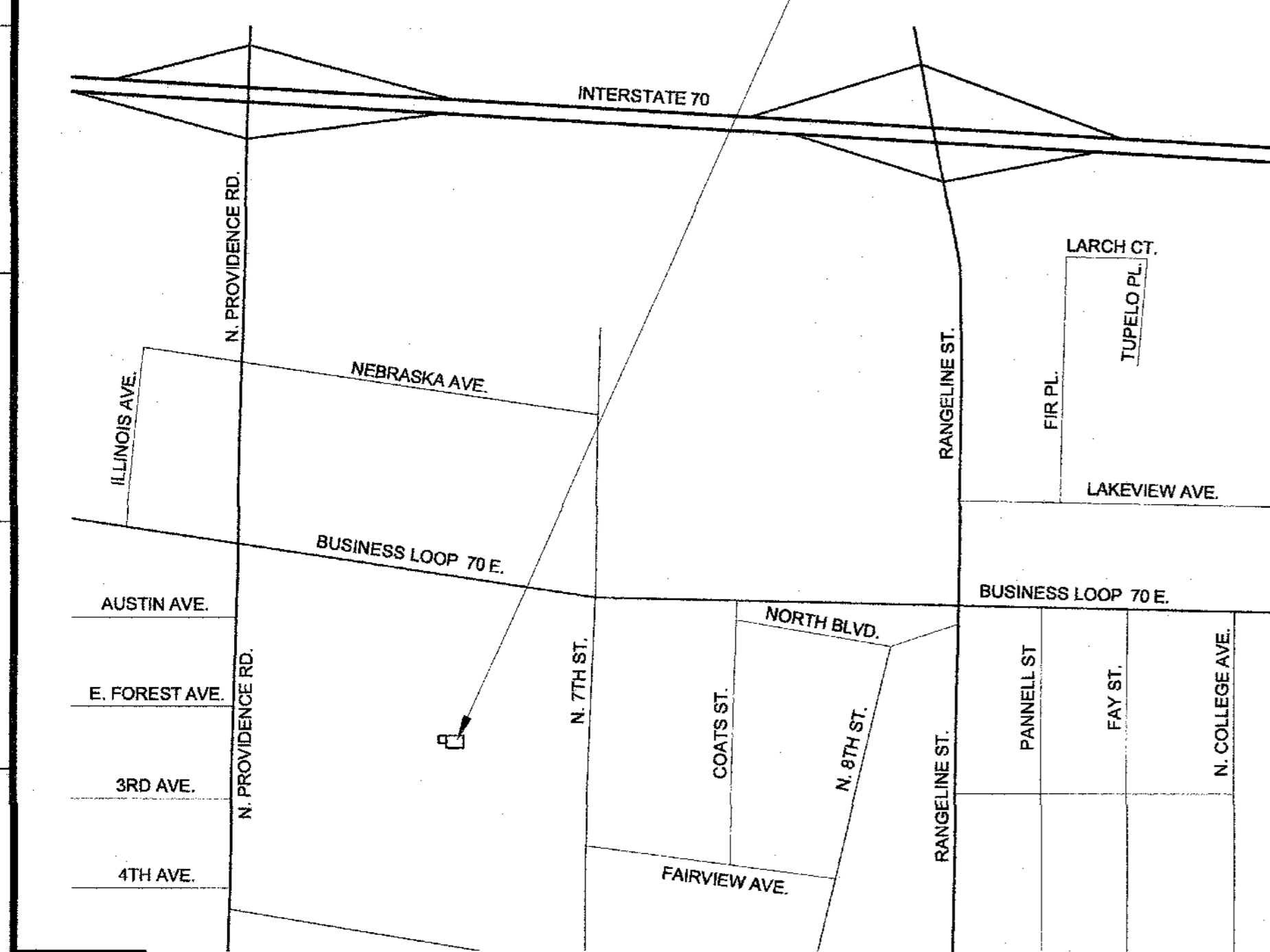
# CPS RFP #19/17

## COLUMBIA PUBLIC SCHOOLS

# HICKMAN HIGH CASA BUILDING RENOVATIONS

1104 N. PROVIDENCE RD.  
COLUMBIA, MO 65203

### PROJECT LOCATION



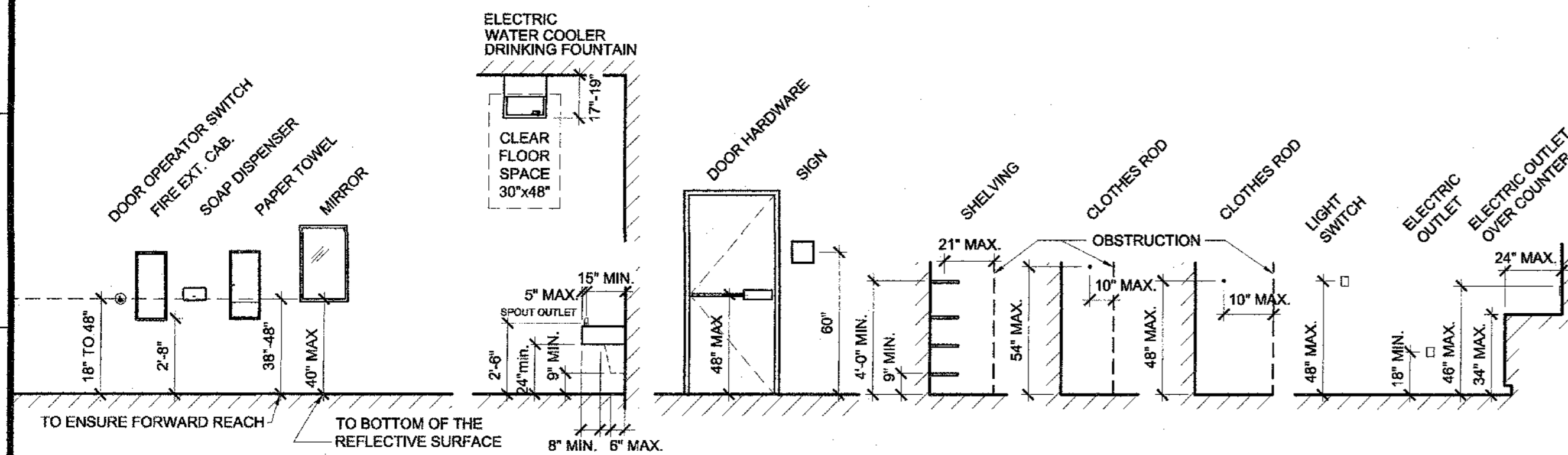
**G1** LOCATION MAP  
NOT TO SCALE

LARGE SCALE	SMALL SCALE	PLAN, SECTION
BRICK MASONRY UNIT		ELEVATION
CONCRETE MASONRY UNIT		ELEVATION
CONCRETE		PLAN, SECTION
GYPSUM BOARD		PLAN, SECTION
ROUTED AREA OF CAVITY/DOOR FRAME		PLAN, SECTION
MISCELLANEOUS ITEMS AS NOTED ON EACH SHEET		PLAN, SECTION, ELEVATION
INSULATION		PLAN, SECTION
ROOF SHINGLES		PLAN, ELEVATION
CONTINUOUS WOOD FRAMING		PLAN, SECTION
WOOD BLOCKING		PLAN, SECTION
PLYWOOD		PLAN, SECTION
EXISTING BUILDING		PLAN, SECTION

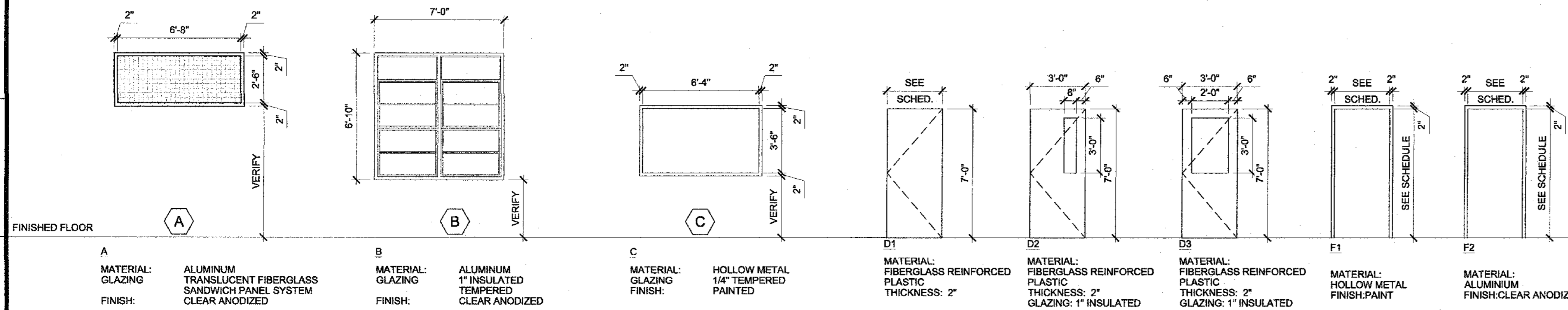
**G6** MATERIAL LEGEND  
NOT TO SCALE

DRAWING BULLET WITH NORTH ARROW	GRID REFERENCE
	DRAWING TITLE SCALE: X/X" = 1'-0"
DRAWING BULLET WITHOUT NORTH ARROW	ARCH. SCALE
	DRAWING TITLE SCALE: X/X" = 1'-0"
	GRID REFERENCE
	ARCH. SCALE
	PAGE FIRST REFERENCED (IF APPLICABLE)
PHOTO & ELEVATION BULLETS	PLANE/ELEVATION DETAIL BULLET
SCOPE OF WORK BULLET	SECTION BULLET
DOOR MARK BULLET	GRID REFERENCE ALWAYS ON TOP
WINDOW MARK BULLET	SHEET NUMBER
REVISION NOTE BULLET	NORTH ARROW
GENERAL NOTE BULLET	COLUMN LINE BULLETS
BENCHMARK BULLET	SPOT ELEV. BULLETS
FIRE EXTINGUISHER CABINET	TC - TOP OF CURB TG - TOP OF GRADE TW - TOP OF WALL TP - TOP OF PAVING

**D8** SYMBOL LEGEND  
NOT TO SCALE

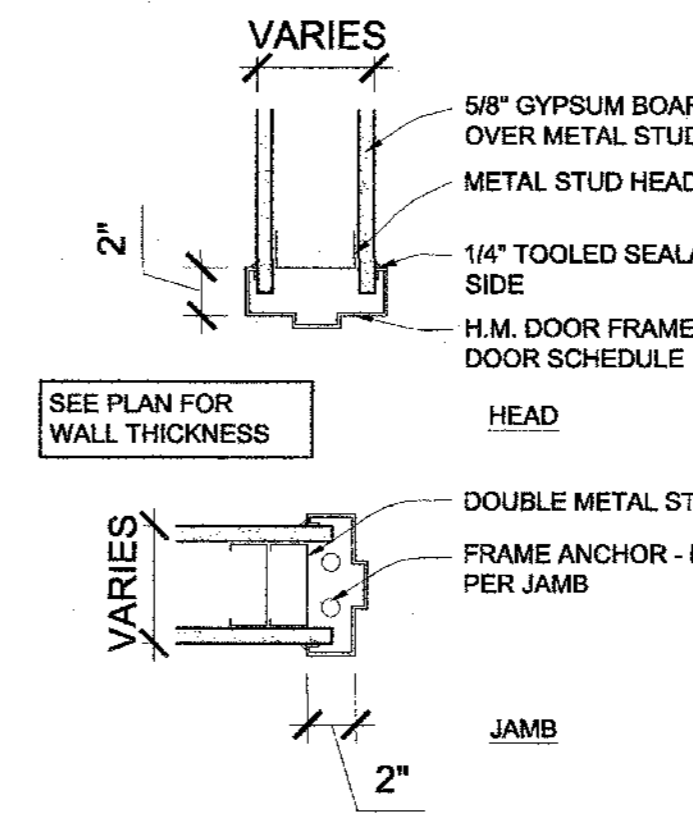


**D1** MOUNTING HEIGHTS  
SCALE: 1/4" = 1'-0"



**A1** WINDOW ELEVATIONS  
SCALE: 1/4" = 1'-0"

**A7** DOOR AND FRAME ELEVATIONS  
SCALE: 1/4" = 1'-0"



**A12** HEAD AND JAMB DETAILS  
SCALE: 1 1/2" = 1'-0"

Project Description Hickman High CASA BUILDING RENOVATIONS						
The project consists of a renovation to an existing building.						
The existing building will not be fully sprinkled as a part of this project.						
Code Summary for BUILDING RENOVATION						
Code Requirement:	2015 International Building Code					
Use and Occupancy	303.1	E (Education)				
Automatic Sprinklers	903.2.1, 903.2.3	NA				
Minimum Construction Classification	602.2	II-B				
Floor Area (Square Feet) per Floor						
	MAIN LEVEL	3,570 Sq. ft. existing				
	Total	3,570 Sq. ft. total				
	Allowable Before Area Modifications	Table 503	E = 14,500 s.f.			
Max. Height (Ft.)						
	Existing	T. 504.3 75 ft. (E)				
	Permitted	T. 504.3 75 ft. (E)				
PLUMBING FIXTURE CALCULATIONS						
FIXTURE TYPE	FIXTURES REQUIRED (PER TABLE 2902.1)			FIXTURES PROVIDED		
	WOMEN	MEN	UNISEX	WOMEN	MEN	UNISEX
WATER CLOSETS	(1 PER 60) = 1	(1 PER 50) = 1		1	1	
URINALS						
LAVATORIES	(1 PER 60) = 1	(1 PER 60) = 1		1	1	
DRINKING FOUNTAINS			(1 PER 100) = 1			2
SHOWERS						
SERVICE SINKS			1			1
HAND SINKS						1

### SHEET INDEX

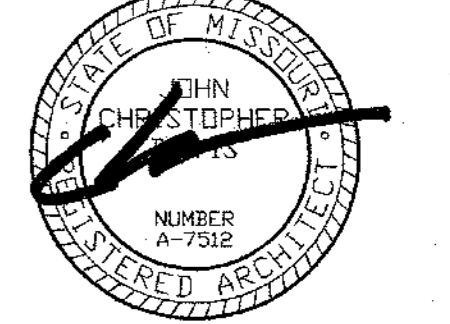
GENERAL	
G-001	COVER SHEET
G-002	ADA DETAILS
STRUCTURAL	
S100	ROOF FRAMING/PLANS & DETAILS
ARCHITECTURAL	
A-101	PLANS
A-201	ELEVATIONS
A-202	PHOTOGRAPHS
A-203	PHOTOGRAPHS & DETAILS
A-204	PHOTOGRAPHS & PARTITION TYPES
A-601	DETAILS
A-601	SCHEDULES & DETAILS
A-602	DETAILS
MECHANICAL	
MEP1.0	MECHANICAL-ELECTRICAL-PLUMBING COVER SHEET
MEP2.0	MEP ROOF PLAN
M100	HVAC PLAN
MD100	HVAC DETAILS & SCHEDULES
EP100	POWER PLAN
EL100	LIGHTING PLAN
ED100	POWER & LIGHTING DETAILS & SCHEDULES
PS100	SANITARY & VENTING PLAN
PW100	WATER & GAS PIPING PLAN

### GENERAL NOTES

- INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HEREIN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS. DRAWINGS (AND PHOTOGRAPHS) ARE FOR GENERAL INFORMATION ONLY. THEY ARE INTENDED TO CONVEY THE CHARACTER OF THE WORK TO BE PERFORMED. THE DRAWINGS (AND PHOTOGRAPHS) SHOW AN APPROXIMATION OF EXISTING CONDITIONS. FIELD CONDITIONS MAY VARY DUE TO UNDOCUMENTED ADDITIONS, MODIFICATIONS, AND ALTERATIONS NOT AVAILABLE AT THE TIME OF DRAWING PRODUCTION.
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY ARCHITECT OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS PER BUILDING OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE, OR THE ARCHITECT. THE WORK WILL BE CHECKED BY THE OWNER'S REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND IN ANY OF THE TEST LOCATIONS, ADDITIONAL TESTS MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IF ANY TEST SECTION REMOVED REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE JOINT WHERE WORK IS FOUND IN COMPLIANCE. RE-SEAL IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO ADDITIONAL COST TO THE OWNER. PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK.
- PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING AND ROOFING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF THIS WORK. REPLACE OR RESTORE DAMAGED ITEMS AND AREAS AT NO COST TO THE OWNER.
- PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
- NO FOOT TRAFFIC ALLOWED ON ROOF WITHOUT PROPER PROTECTION. SHARDS SUCH AS PLYWOOD OVER POLYSTYRENE OR OTHER METHOD APPROVED BY OWNER REPRESENTATIVE.
- PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
- PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD. WHEN APPROVED BY THE OWNER REPRESENTATIVE, A SINGLE ENTRANCE MAY BE TEMPORARILY CLOSED WHILE OVERHEAD WORK IS BEING COMPLETED. ONLY ONE ENTRANCE MAY BE CLOSED AT A TIME.
- COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
- DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.
- SCHOOL WORK HOURS: SCHOOL WILL BE IN SESSION WHILE WORK IS BEING PERFORMED. PERFORM ALL GRINDING, CUTTING, AND SIMILAR NOISE OR DUST-CREATING OPERATIONS AFTER 3:00 PM. REPOINTING OR SIMILAR NON-NOISE OR NON-DUST-CREATING WORK MAY BE PERFORMED DURING NORMAL WORK HOURS STARTING AT 7:00 AM.
- COORDINATE ALL STAGING AND PARKING REQUIREMENTS WITH OWNER'S REPRESENTATIVE.



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Drawn:	Project Number:
MM	201621.15
Checked:	CAD File Name (Number):
CD	201621.15 G-001.DWG
Drawing Title:	
COVER SHEET	
No. Revisions:	Date:
Submission Date:	Drawing Number:
06/18/2018	G-001
Plot Date:	
06/18/2018	